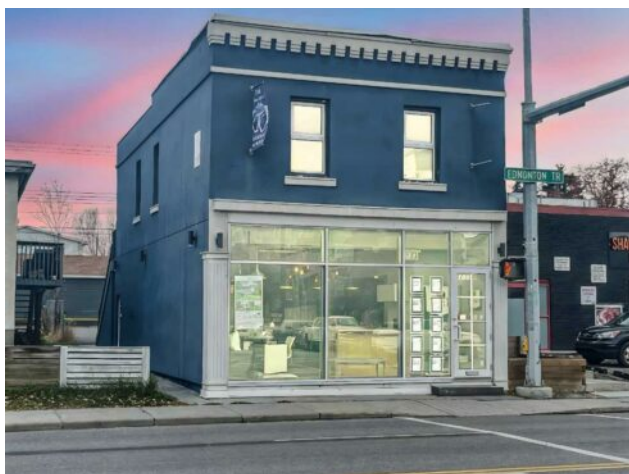


**709 Edmonton Trail NE**  
**Calgary, Alberta**

**MLS # A2226970**



**\$1,788,888**

<b>Division:</b>	Crescent Heights
<b>Type:</b>	Mixed Use
<b>Bus. Type:</b>	Bar/Tavern/Lounge, Commercial ,Fast Food,Pizza,Professional Service,Profes
<b>Sale/Lease:</b>	For Sale
<b>Bldg. Name:</b>	-
<b>Bus. Name:</b>	-
<b>Size:</b>	2,000 sq.ft.
<b>Zoning:</b>	DC (pre 1P2007)

<b>Heating:</b>	Forced Air, Natural Gas	<b>Addl. Cost:</b>	-
<b>Floors:</b>	-	<b>Based on Year:</b>	-
<b>Roof:</b>	Flat, Membrane	<b>Utilities:</b>	Cable Internet Access
<b>Exterior:</b>	Brick	<b>Parking:</b>	-
<b>Water:</b>	Public	<b>Lot Size:</b>	0.07 Acre
<b>Sewer:</b>	Public Sewer	<b>Lot Feat:</b>	Back Lane, Level, Near Public Transit, Near Shopping Ce

**Inclusions:** 2 RO SYSTEM, 3 FRIDGES, 2 DISHWASHER, WASHER, DRYER, WALK IN COOLER, BEER COOLING LINES, AUTOMATIC WINDOW COVERINGS, ALARM SYSTEM, FOB SYSTEM, SHED 6 BAR STOOLS, 3 BAR TABLES, 5 ATTACHED TVS

Charming and versatile, this beautifully restored heritage mixed-use building in the heart of Crescent Heights blends historic character with modern upgrades, making it an exceptional opportunity for a boutique caf  , trendy bakery, stylish office, or creative retail space. Boasting approximately 2,000 sq. ft. over two levels, the main floor features soaring 11-foot original tin ceilings, expansive floor-to-ceiling sound-rated windows, and both front and rear entrances. Previously a licensed restaurant/bar, it still offers four glycol-chilled beer/kombucha lines connected to a walk-in cooler in the spacious basement, along with a bathroom, generous storage, and on-demand hot water. The upper level is a completely private, professional-grade office suite with two secure entrances, roll-down shutters, three large offices, an impressive boardroom, and a full bathroom with shower, washer, and dryer. The former commercial kitchen has been converted into a cozy back office, with rough-in gas and plumbing still in place for easy conversion. With 200-amp power, high visibility, over 3,000+ daily foot traffic, and 5&ndash;6 dedicated rear parking stalls, this rare gem is the perfect fusion of old-world charm and modern functionality &mdash; ideal for anyone looking to thrive in Calgary&rsquo;s vibrant inner city.